

Ellensburg Land Development Code Update

Planning Commission Meeting
November 29, 2010

MAKERS

Planning Commission Meeting Agenda

NOVEMBER 23, 7:00 PM – 9:00 PM

Time

Agenda Item

7:00 PM

Individual summary of comments on Preliminary Development Frontage Standards

- Planning Commission members each will have up to 5 minutes of uninterrupted time to summarize their comments & suggestions on the Preliminary Development Frontage Standards, which were submitted on November 5 and discussed at the November 11 meeting. Specifically:
1. Are the preliminary standards heading in right direction?
 2. ID particular suggestions, areas of concern, disagreement, areas that need more clarification.

7:20 PM

Clarification on setbacks and transparency

- Staff will present illustrations/examples to help understand 10' vs. 15' setbacks and different facade transparency levels. Follow up question:
- Does the proposed minimum 15% transparency level required for buildings with landscaped setbacks (on proposed Secondary and Landscaped Streets) sound about right? Why or why not?

7:40 PM

Gateway Corridors (Canyon Rd and University Way)

- Are we on the right track in terms of landscaped frontages, parking on the side/rear, for one or both areas? Why/why not? Other suggestions?

8:00 PM

Campus Area (University Way Corridor)

- Are we on the right track in terms of vision for a pedestrian-oriented district along University Way east of Walnut, Storefront vs. Secondary Street designations? Other suggestions?

8:20 PM

CC Zones

- Are we on the right track in terms of general street designations and parking lot location standards? Other suggestions?

8:40 PM

Other issues? Possible discussion items if there's time:

- Beyond pedestrian entries, should there be any weather protection requirements along one or both sides of Storefront Streets?
- Departures will be a key element to provide for flexibility. Good criteria will be essential to provide some direction and parameters for staff/applicants. We're anticipating that all departures will be required to go through design review. Any particular concerns or suggestions about Departures?

9:00 PM

Adjourn

7:00 – 7:20 Individual PC Summary of
Comments on Preliminary
Development Frontage
Standards

- *Are we headed in the right direction?*
- *ID particular suggestions, areas of concern, disagreement, areas that need more clarification*
- *5 minutes/person max*

7:20 – 7:40 Clarification on setbacks and transparency



Storefronts

- Choose # between 60-80% of façade
- Suggest the required transparent area be between 30" and 8' above grade



Transparent area

8'

30"

0'

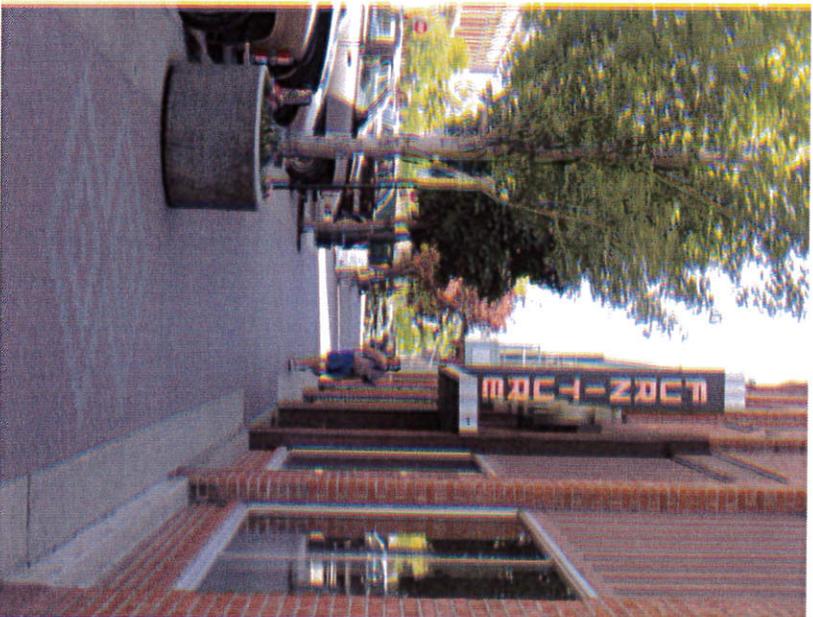
Transparent area

Total façade width

Storefronts



Storefronts



Storefronts



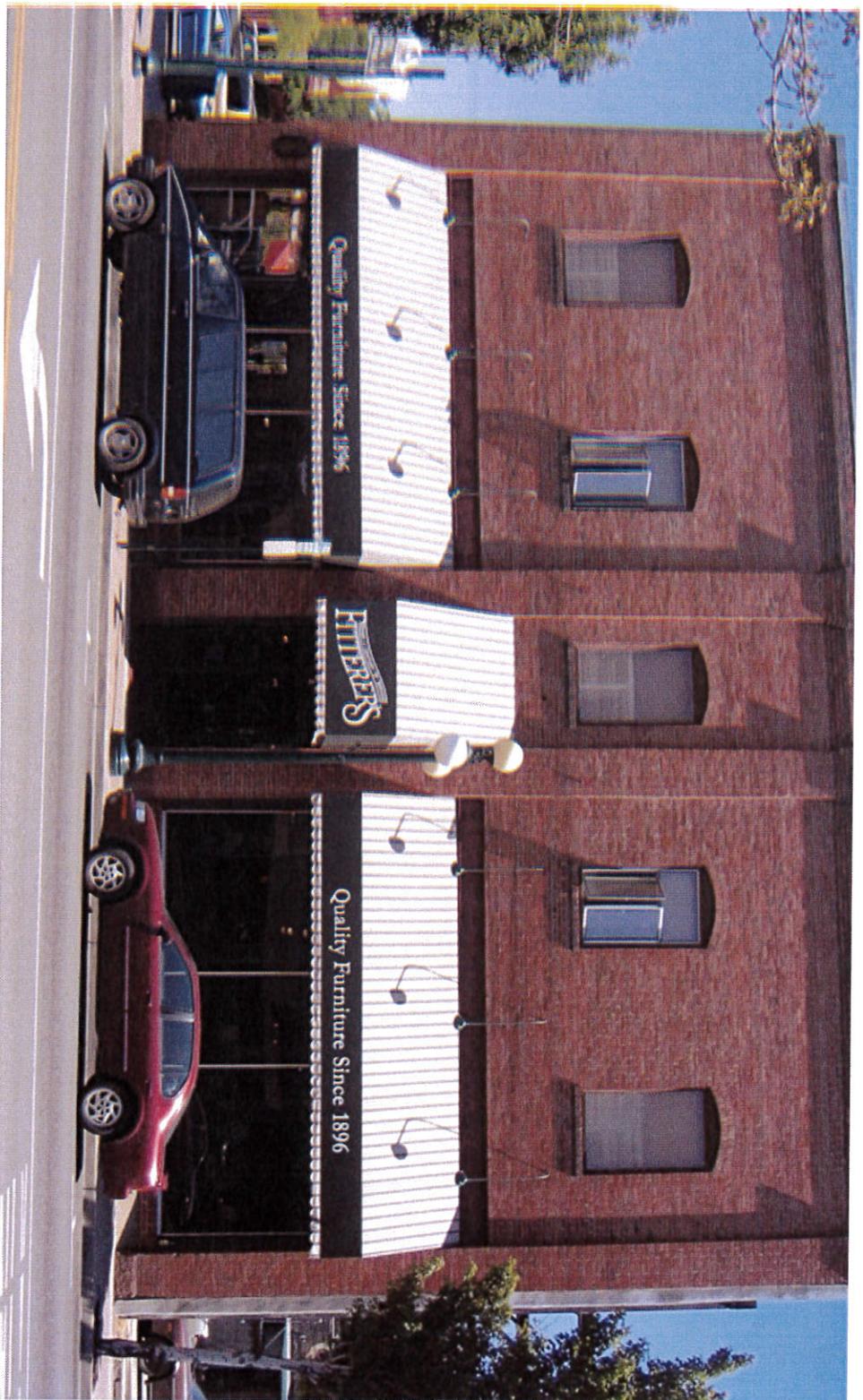
Some existing buildings wouldn't meet standards, but they'd be grandfathered in. Any future remodels couldn't increase non-conformity.



Storefronts



Storefronts



Storefronts

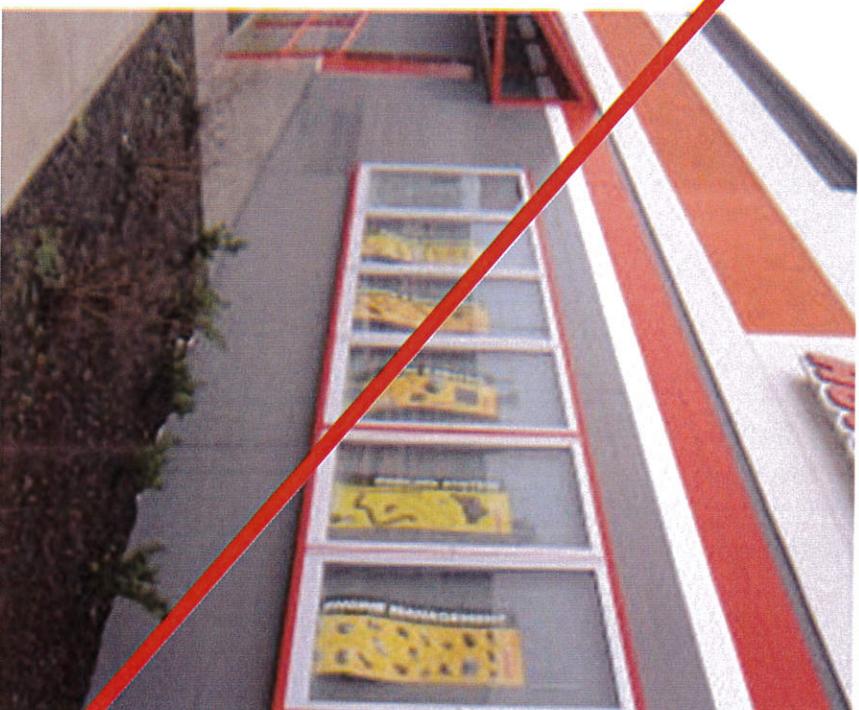


Storefronts



Clearly not enough transparency

Storefronts



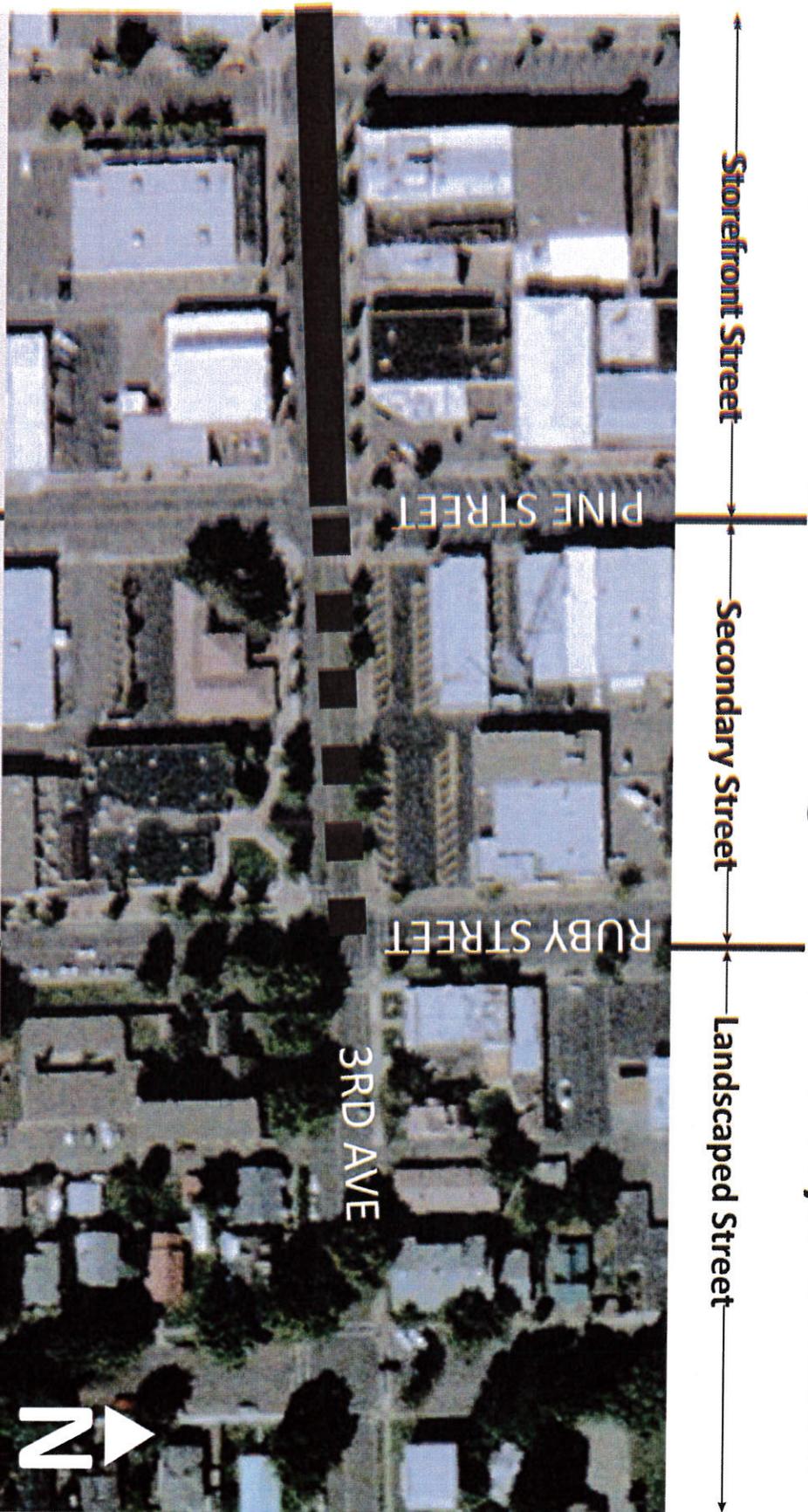
If display cases are allowed for some of the transparent window area, they should be integrated into building and at least 16" deep and not like this

Storefronts



Probably want to avoid this – structured ground level parking – built up to sidewalk

Development Frontage - Street Designation Case Study: 3rd Avenue



Storefront required

Storefronts are the clear established pattern west of Pine Street

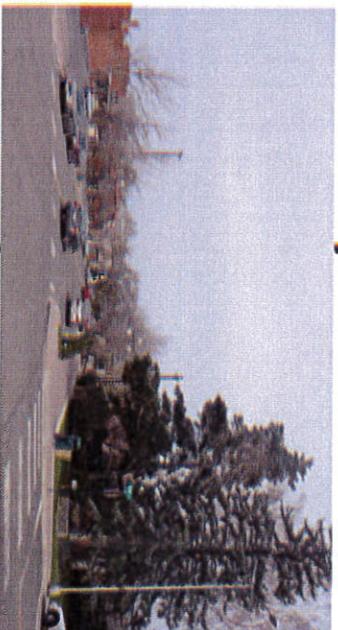
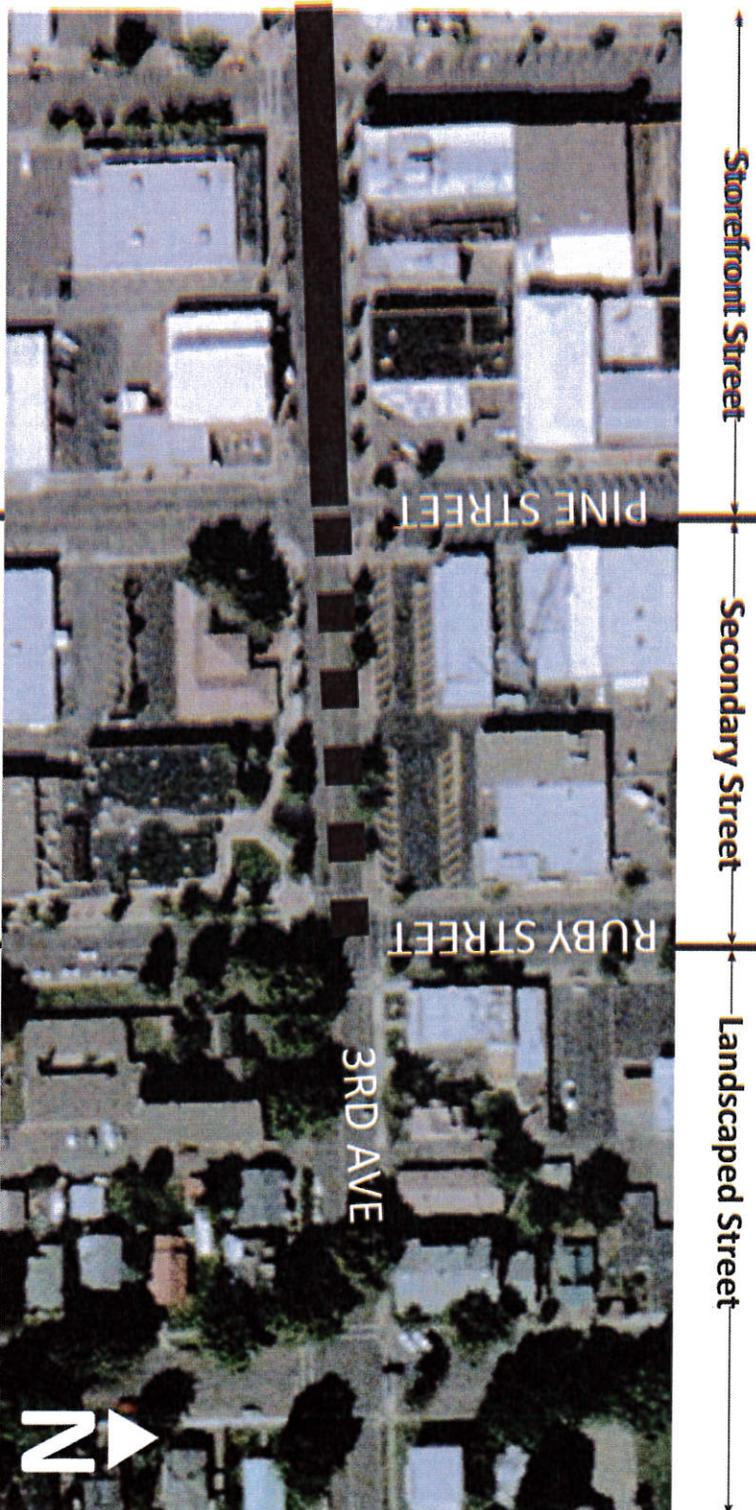
Storefront or landscaped setback OK

Landscaped setbacks are established pattern on south side, but storefronts along Pine and Ruby to north make storefront redevelopment on north side an obvious option

Landscaped setbacks are required

Landscaped setbacks are the clear established pattern east of Ruby Street, though the building on the NW corner of 3rd and Sprague appears to be within 10' of the sidewalk (consider if Secondary Street designation might be better in the long term - to allow for storefronts with redevelopment?)

Development Frontage - Street Designation Case Study: 3rd Avenue



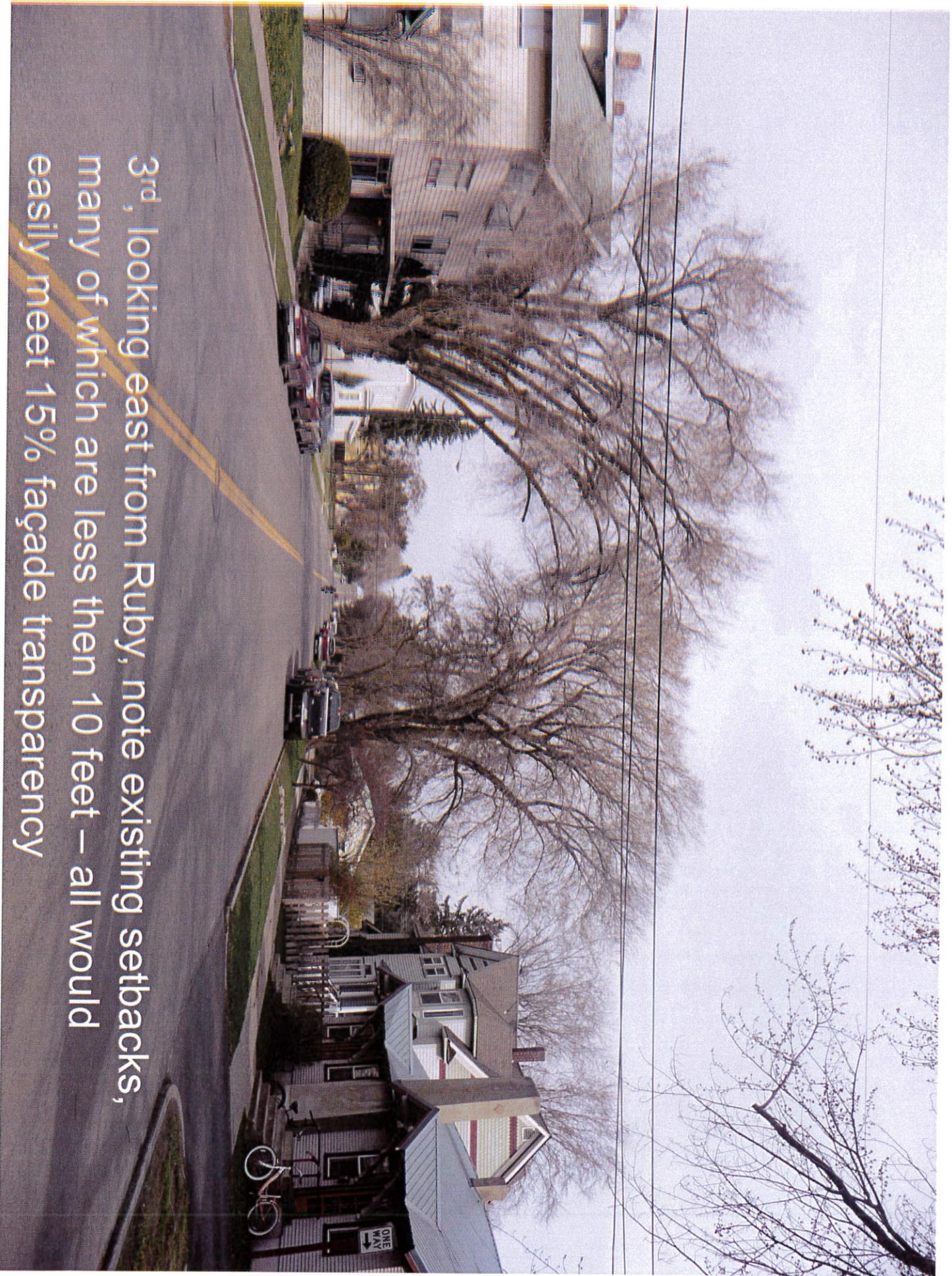
Looking east from Pine - note landscaped setbacks on right (south side) - but part of the structure is adjacent to sidewalk. Note sidewalk improvements would work well with storefronts.



Looking east from Ruby - note duplex on right is probably setback only 5' whereas house beyond is probably 10-15' setback; Multifamily structure on left is within 10' of sidewalk



3rd Looking east from Pine – note landscaped setback, but also portion of building comes out to sidewalk



3rd, looking east from Ruby, note existing setbacks, many of which are less than 10 feet – all would easily meet 15% façade transparency

Secondary Streets.

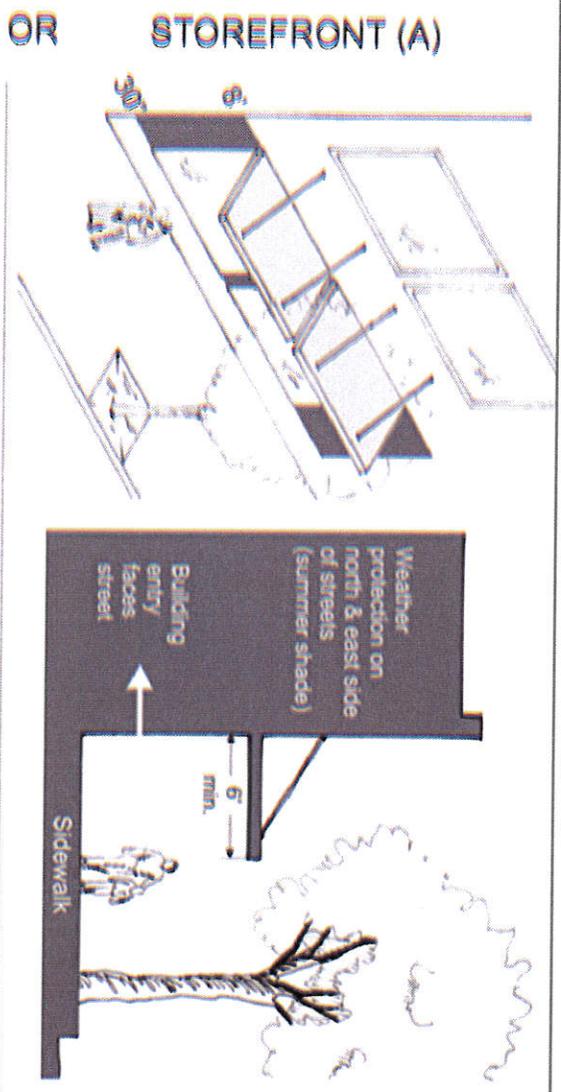
These are streets where there's an option to have a storefront (see above for sample standards) or a landscaped setback (see example standards for a landscaped front yard below).

Secondary Street Standards

- Choice of Storefront (A) or Landscaped Frontage (B)

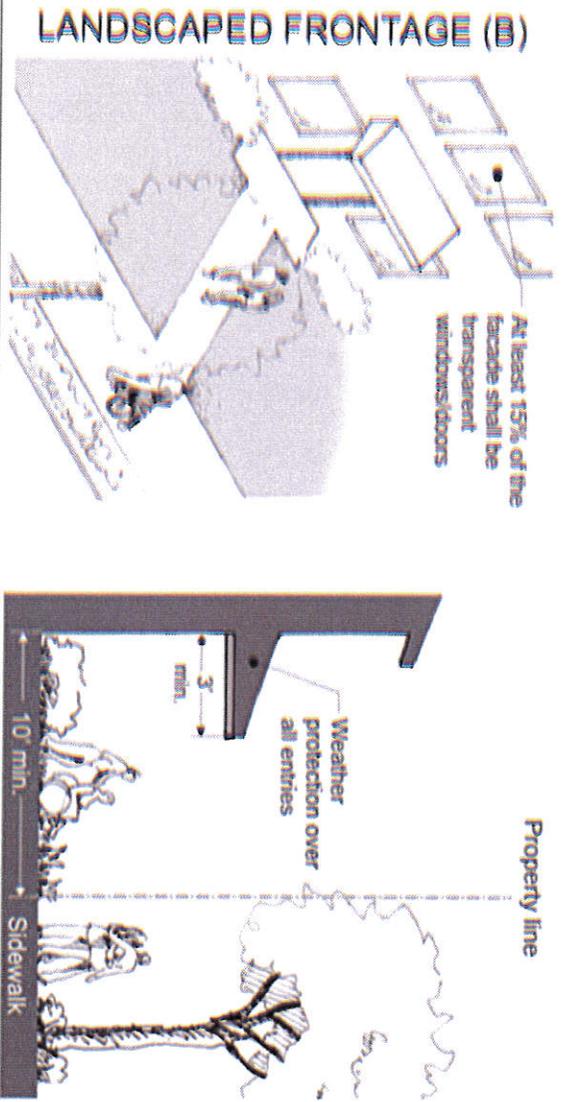
(A) STOREFRONT

- Building located adjacent to sidewalk with direct entry onto sidewalk
- Retail/Commercial use required on ground floor to min. 30' depth
- Weather protection over all entries (at least 3' deep) and at least 6' deep along at least 70% of facades on north and east sides of streets
- Transparent window area along at least 70% of ground floor facade between 30" and 8' above grade



(B) LANDSCAPED FRONTAGE

- 10' minimum building setbacks
- At least one building entry is visible from the sidewalk
- Weather protection at least 3' deep over all entries
- Transparent windows/doors shall occupy at least 15% of facade



PARKING LOCATION

- No more than 50% of street frontage may be occupied by parking for either type of frontage used

Landscaped Frontages – Other Examples



15-20' setbacks, probably around 20-25% transparent

Landscaped Frontages – Other Examples



15-20' setbacks, probably at least 20% transparent

Landscaped Frontages – Other Examples



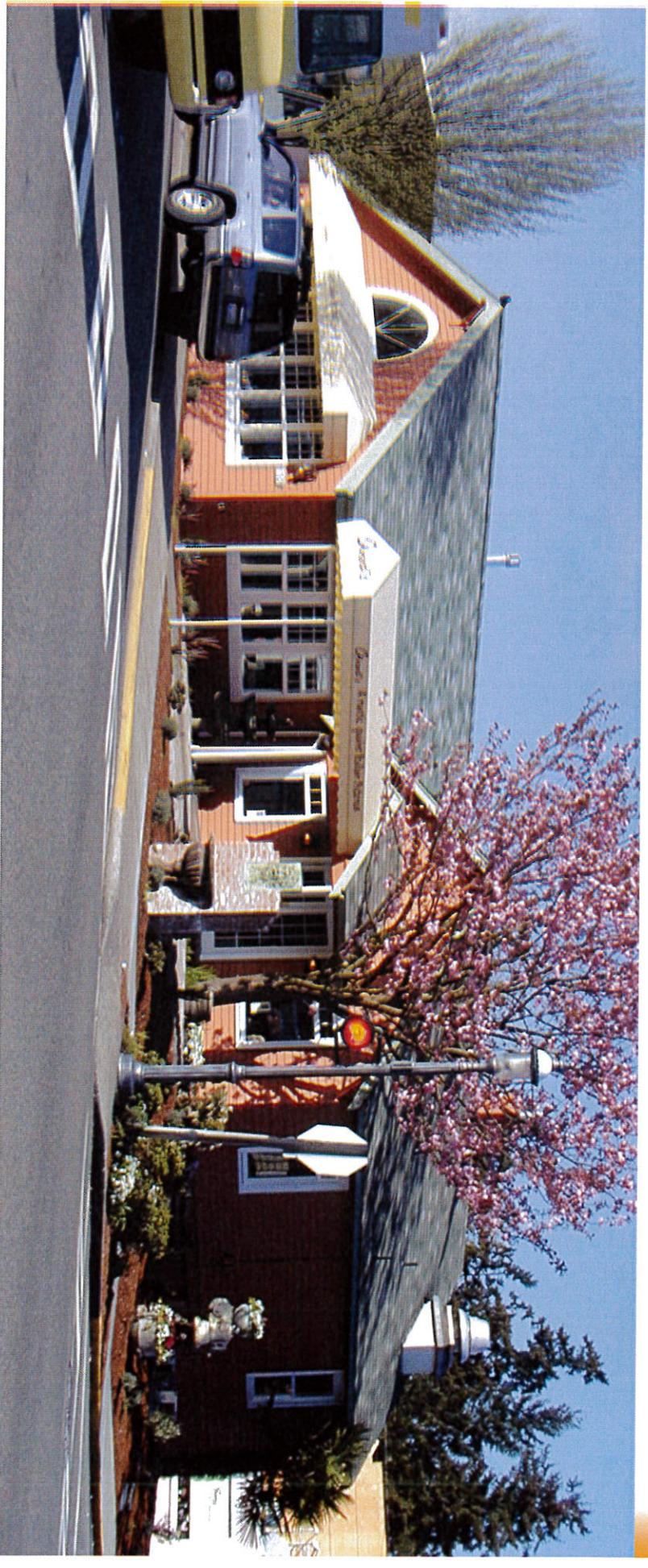
5-6' setback, probably around 20% transparent

Landscaped Frontages – Other Examples



Grocery store, parking on far side, plaza area and landscaping between sidewalk and building, 15-20' setbacks, note transparency

Landscaped Frontages – Other Examples



5-20' setbacks, probably at least 25% transparent

Landscaped Frontages – Other Examples



Backstreet, parking on other side of buildings –
about 15' setbacks, probably around 20-25%
transparent

Landscaped Frontages – Other Examples



About 15' setbacks, probably at least 15% transparent

Landscaped Frontages – Other Examples



Not sure about setback, but wanted to show
warehouse type example with some windows –
though this is probably around 10%

Landscaped Frontages – Other Examples



New office near interchange, about 30' setback,
probably meets 15% transparency

Landscaped Frontages – Other Examples



Canyon Road, note landscaped setbacks on right, not sure about transp %'s, but windows visible on both sides of street

Landscaped Frontages – Other Examples



20-25' setback with drive-through lane in front, maybe 10% transparency

Landscaped Frontages – Other Examples



10-15' setbacks, combination of landscaped frontage and storefront/office building, easily meets 15% transparency

Landscaped Frontages – Other Examples



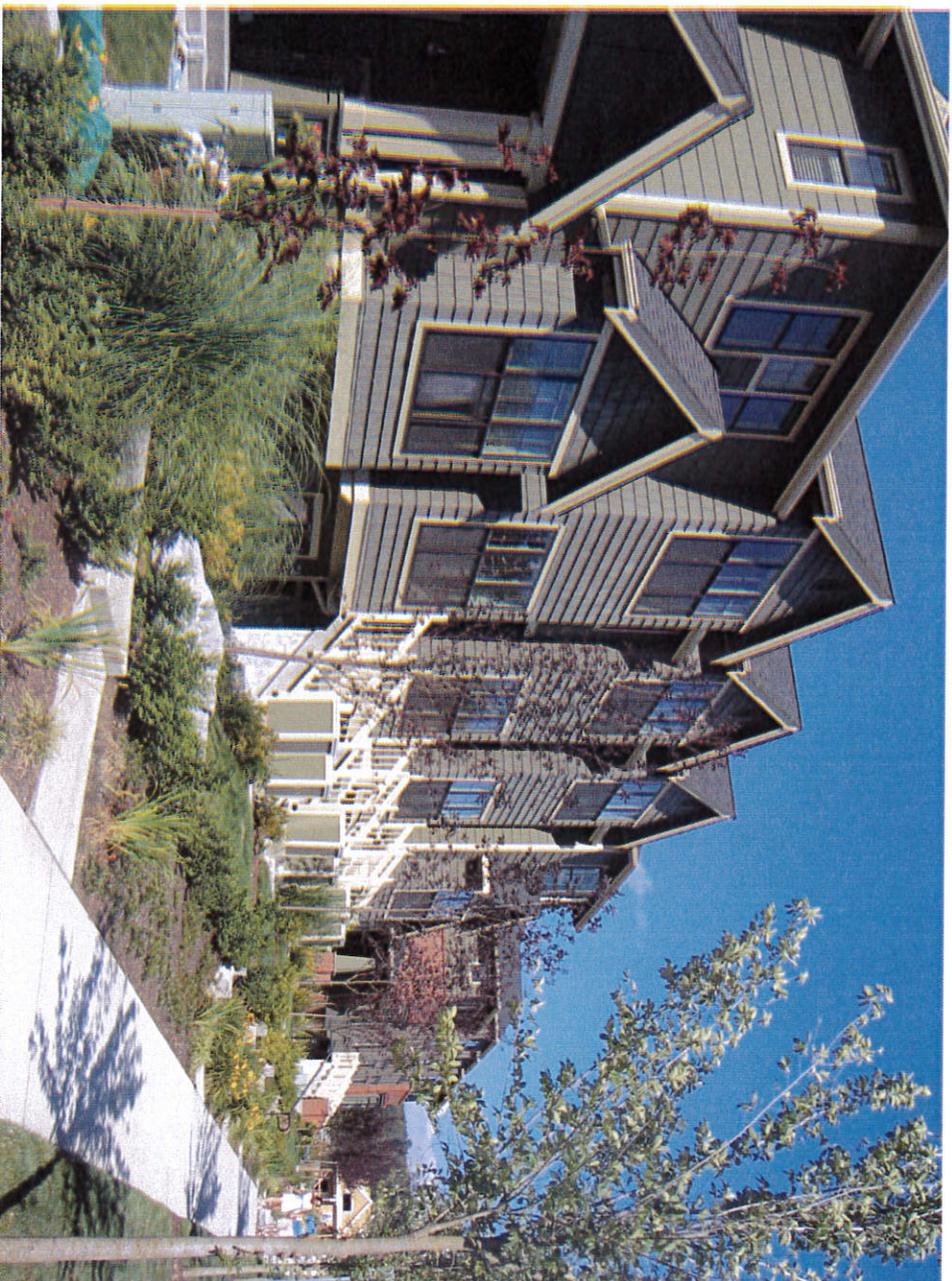
Stoop concept – live work type building, 8-10’ setback, 15-20% transparent

Landscaped Frontages – Other Examples

5-0' setbacks,
probably around
20% transparent



Landscaped Frontages – Other Examples



15-20' setbacks, probably around 20-25%
transparent

Landscaped Frontages – Other Examples



About 15' setback, transparency difficult to tell, some windows

Landscaped Frontages – Other Examples



About 5' setback, probably around 20% transparent

Landscaped Frontages – Other Examples



12-15' setbacks, windows difficult to see, but easily meets 15%

7:20 – 7:40 Clarification on setbacks and transparency

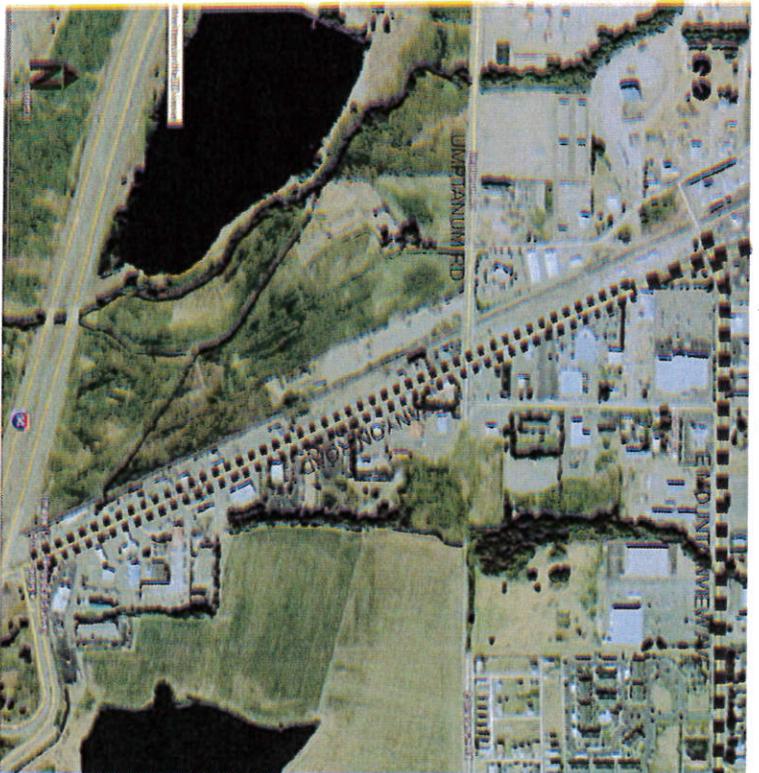
- *Does the proposed 15% transparency seem about right for Landscaped Streets, and all non-storefronts on Secondary Streets?*
- *Departures?*

7:40 – 8:00 Gateway Corridors:

Canyon RD and University Way

- *Are we on the right track with small landscaped setbacks, parking on side/rear?*
- *Why/Why Not?*

Canyon Road Area Regulatory Map – With Aerial

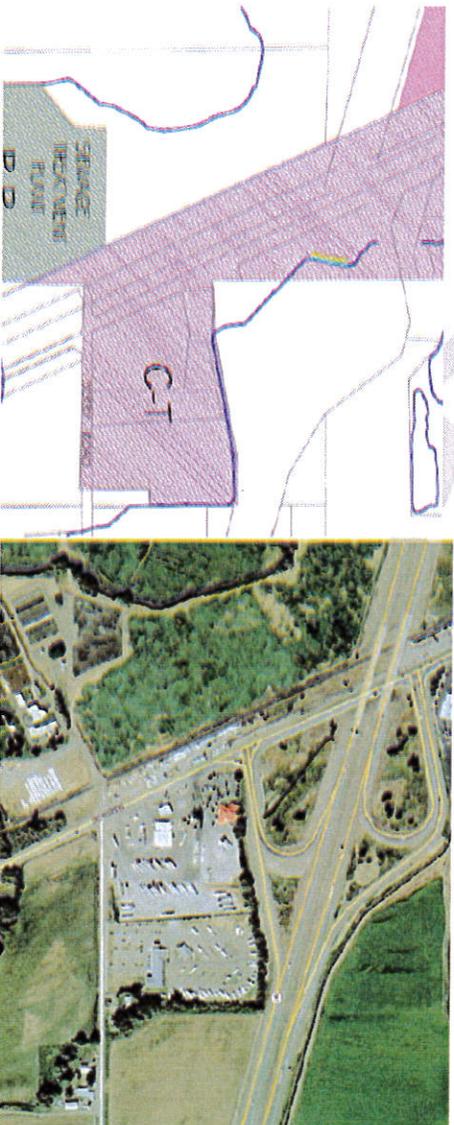


Canyon Road

Street Type Designation

- Storefront Street
- Secondary Street
- Gateway Corridor
- Landscaped Street

no color Landscaped Street

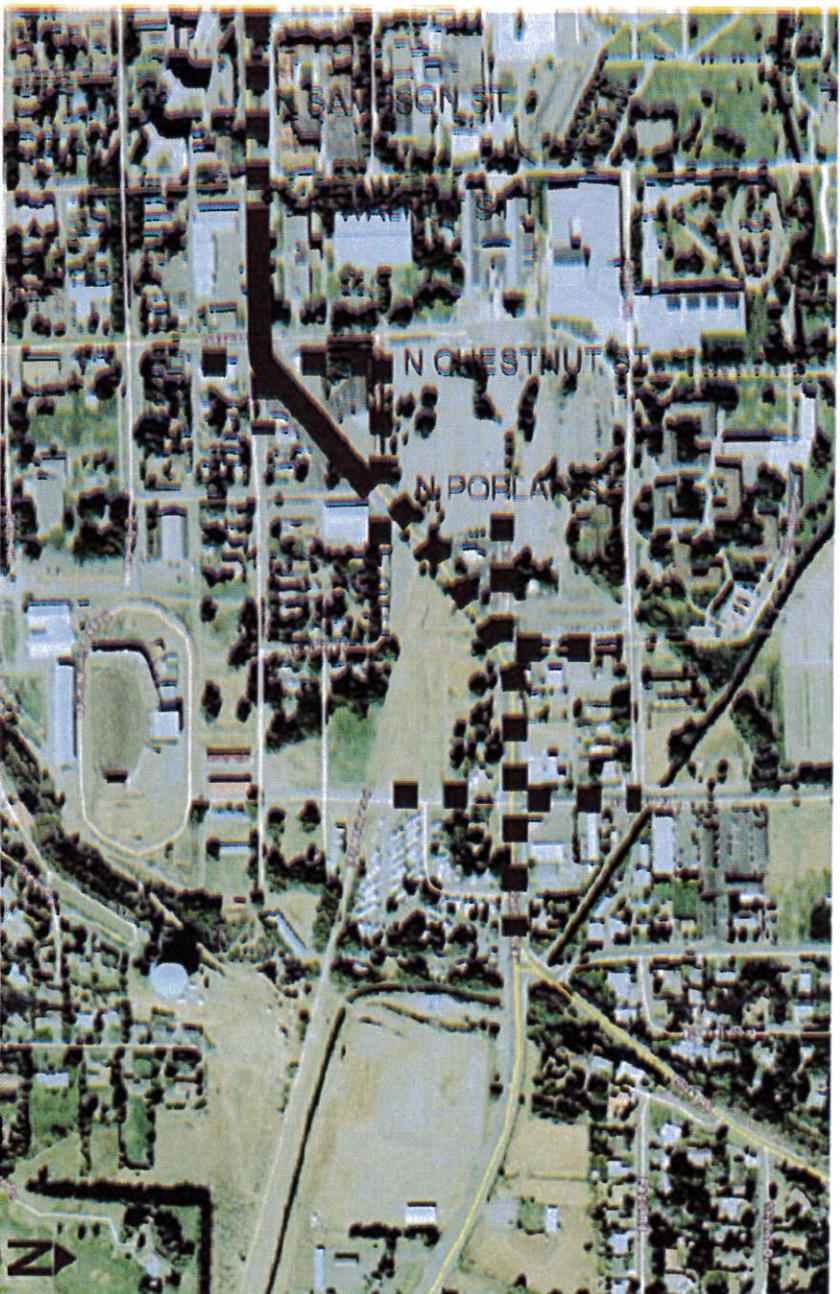


NOTE: The portion of Canyon Road south of I-90 will also need to be addressed. It's function as a truck stop and smaller through traffic numbers likely warrant more flexibility than Canyon Road north of I-90.

8:00 – 8:20 Campus Area (University Way)

- *Are we on the right track with vision for creating a pedestrian-friendly village type area here?*
- *Storefront designation for parts of U-Way?*

Campus Area with Aerial



Campus Area

Street Type Designation

- Storefront Street
- Secondary Street
- Landscaped Street





8:20 – 8:40 CC Zones

- *Are we on the right track in terms of street designations, parking location?*

Downtown Core Regulatory Map – With Aerial

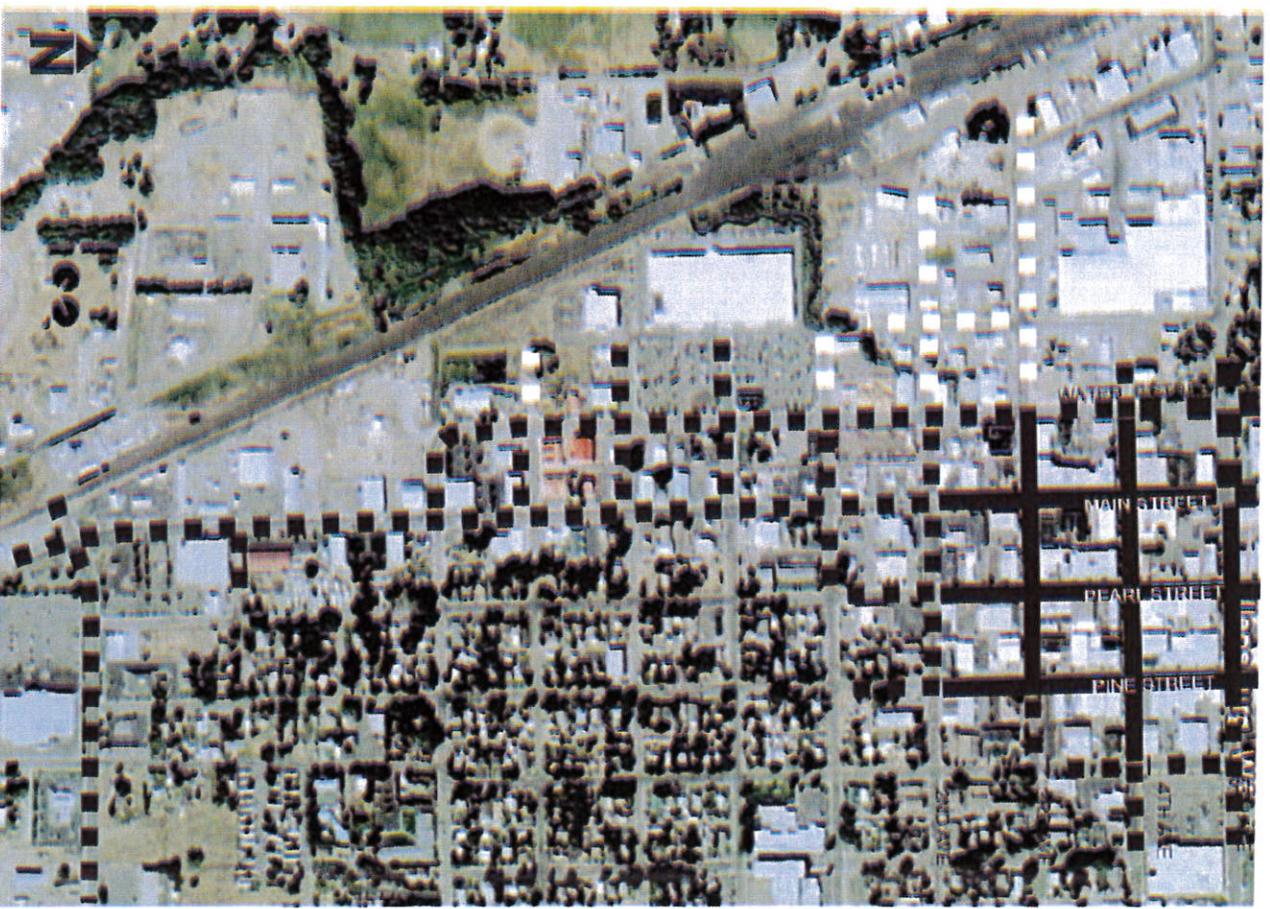


CC District

Street Type Designation

-  Storefront Street
-  Secondary Street
-  Landscaped Street

CC-2 District Regulatory Map – With Aerial



CC-2 District

Street Type Designation	
	Storefront Street
	Secondary Street - 1
	Secondary Street - 2
	Landscaped Street



8:40 – 9:00 Other Concerns, Suggestions?

- *Weather protection?*
- *Departures?*